



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

**CULTURAL RESOURCES OFFICE
PRESERVATION BOARD
REGULAR MEETING
MONDAY JANUARY 27, 2014 — 4:00 P.M.
1520 MARKET ST. #2000
www.stlouis-mo.gov/cultural-resources**

Roll Call - Approval of the December 16, 2013 minutes. Approval of Current Agenda

PRELIMINARY REVIEWS	Jurisdiction	Project	Pg.
A. 4643 LINDELL BLVD	Central West End HD	Second presentation of demolition/new construction	1
B. 1220 DOLMAN.....	Lafayette Square HD.....	Construct single family house	17

APPEAL OF DENIALS

C. 3114 LEMP AVE.	Benton Park HD	Construct retaining wall	27
D. 330 LEMP AVE.	Benton Park HD	Install metal security doors...	30
E. 1900 S. 12 TH ST.	Soulard HD.....	Raise existing fence	33
F. 1000 SIDNEY ST.	Soulard HD.....	Enclose patio structure	36
G. 3535 VICTOR ST.....	Compton Hill HD.....	Retain glass block windows...	42

SPECIAL AGENDA ITEMS

Discussion of a Preservation Board Conflict of Interest Policy

Introduction: Preliminary Review Policy Development



CITY OF ST. LOUIS
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A.

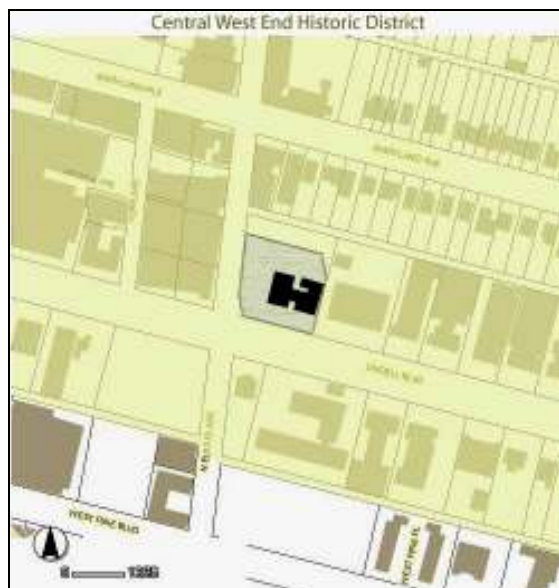
DATE: January 27, 2014
ADDRESS: 4643 Lindell Boulevard
ITEM: Second Preliminary Review: demolish an office building and construct a 12-story residential building with street-level retail space.
JURISDICTION: Central West End Certified Local Historic District — Ward 28
STAFF: Betsy Bradley, Cultural Resources Office



4643 LINDELL BOULEVARD

OWNER/APPLICANT: Opus
Development Company, LLC, Joseph
P. Downs

RECOMMENDATION:
That the Preservation Board grant
preliminary approval to the
demolition of the Heart Association
Building and grant preliminary
approval to the proposed building,
subject to the refinement of details



THE PROJECT:

4643 Lindell is located in the Central West End Certified Local Historic District and in a Preservation Review District. The applicant proposes to demolish the existing building and erect a 12-story residential tower with commercial use at the ground story. This is the second presentation on this project.

RELEVANT LEGISLATION:

From City Ordinance # 69423 (2013) which repealed Section Two (Rehabilitation and New Construction Standards) of #56768 and adopted revised historic district standards.

Central West End Historic District Standards.

V. Demolition

Buildings identified as contributing properties in the Central West End Certified Local Historic District are considered historically significant to the character and integrity of the historic district. However, construction continued after the period of significance identified for the district and those buildings may also be architecturally significant, having become part of the historic character of the Central West End. Any of these buildings determined eligible for listing in the National Register of Historic Places by the State Historic Preservation Officer or that are determined by the Cultural Resources Office to be Merit or High Merit properties are also historically significant. All architecturally and historically significant buildings are an irreplaceable asset, and as such their demolition is not allowed without a specific recommendation for demolition from the Cultural Resources Office, a full hearing by the Preservation Board, and approval by that Board.

When reviewing any application for demolition within the historic district, the Cultural Resources Office shall consider the following criteria:

- 1. Its architectural quality and special character, if any;**
- 2. Condition of the building;**
- 3. Its presence in the historic district, as in its relative visibility;**
- 4. The immediate setting;**
- 5. The impact of its removal on the urban fabric; and**
- 6. Any construction proposed to replace it.**

The Heart Association Building, erected in 1968 and 1971, is not considered a contributing building to the Certified Local Central West End Historic District, as ca. 1941 was the cut-off date for determining which buildings would be contributing to the historic district. As directed above, the architectural quality of the building is assessed below. The criteria for demolition in the district standards are the same as those that follow.

From City Ordinances 64689 and 64832:

64832: PART V - HISTORIC DISTRICTS AND LANDMARKS - CONSTRUCTION, ALTERATION AND DEMOLITION

SECTION THIRTY-NINE. Permit required when: Demolition, Construction, Alteration - Historic District or Landmark/Landmark Site

No Owner or other person shall construct, demolish or alter any designated feature or Exterior Architectural Feature with respect to any Improvement situated within an Historic District, or within or part of a Landmark or Landmark Site, nor shall such person cause or permit any such work to be performed upon such property, unless an application shall have been filed with the building commissioner and a permit obtained therefore from the building commissioner. The building commissioner shall immediately upon receipt of any such application for permit forward a copy of such application to the Cultural Resources Office for review.

64689: PART X - DEMOLITION REVIEWS

SECTION FIFTY-EIGHT.

Whenever an application is made for a permit to demolish a Structure which is i) individually listed on the National Register, ii) within a National Register District, iii) for which National Register Designation is pending or iv) which is within a Preservation Review District established pursuant to Sections Fifty-Five to Fifty-Six of this ordinance, the building commissioner shall submit a copy of such application to the Cultural Resources Office within three days after said application is received by this Office.

64832 SECTION FIVE. Demolition permit - Board decision.

All demolition permit application reviews pursuant to this chapter shall be made by the Director of the Office who shall either approve or disapprove of all such applications based upon the criteria of this ordinance. All appeals from the decision of the Director shall be made to the Preservation Board. Decisions of the Board or Office shall be in writing, shall be mailed to the applicant immediately upon completion and shall indicate the application by the Board or Office of the following criteria, which are listed in order of importance, as the basis for the decision:

- A. Redevelopment Plans.** Demolitions which would comply with a redevelopment plan previously approved by ordinance or adopted by the Planning and Urban Design Commission shall be approved except in unusual circumstances which shall be expressly noted.
 - A redevelopment plan is under development.
- B. Architectural Quality.** Structure's architectural merit, uniqueness, and/or historic value shall be evaluated and the structure classified as high merit, merit, qualifying, or noncontributing based upon: Overall style, era, building type, materials, ornamentation, craftsmanship, site planning, and whether it is the work of a significant architect, engineer, or craftsman; and contribution to the streetscape and neighborhood. Demolition of sound high merit structures shall not be approved by the Office. Demolition

of merit or qualifying structures shall not be approved except in unusual circumstances which shall be expressly noted.

The Heart Association Building, also known as the Daudt Memorial Building, was completed in 1968 and was expanded with an additional wing in 1971. The St. Louis architectural firm of Smith-Entzeroth was responsible for the design, which received an AIA architectural achievement award in 1970 in recognition of the effective use of brick. The building was described as designed to fit into the Lindell Boulevard streetscape yet retain its individuality. The planar surfaces of the rich, dark-glazed brick are punctuated by deep-set square windows and vertical recesses. The use of material and “carved out openings and recesses” are representative of Smith-Entzeroth’s interpretation of the Brutalist strain of modernism. A small garden court between the two wings of the building provides a gracious entrance from either the street or the rear parking area.

The Heart Association Building was part of the redevelopment of Lindell Boulevard during the period between the late 1950s and early 1970s and its architectural excellence was recognized in 1970. Therefore, it is considered to be a Merit building, in the terms of the City Ordinance #64689, as it would be contributing to the Central West End should a second period of significance be established for the mid-20th century.

C. Condition. The Office shall make exterior inspections to determine whether a structure is sound. If a structure or portion thereof proposed to be demolished is obviously not sound, the application for demolition shall be approved except in unusual circumstances which shall be expressly noted. The remaining or salvageable portion(s) of the structure shall be evaluated to determine the extent of reconstruction, rehabilitation or restoration required to obtain a viable structure.

1. Sound structures with apparent potential for adaptive reuse, reuse and or resale shall generally not be approved for demolition unless application of criteria in subsections A, D, F and G, four, six and seven indicates demolition is appropriate.

Exterior inspection suggests that the building meets the definition of sound, as used in ordinance #64689.

2. Structurally attached or groups of buildings. The impact of the proposed demolition on any remaining portion(s) of the building will be evaluated. Viability of walls which would be exposed by demolition and the possibility of diminished value resulting from the partial demolition of a building, or of one or more buildings in a group of buildings, will be considered.

Not applicable.

D. Neighborhood Effect and Reuse Potential.

1. Neighborhood Potential: Vacant and vandalized buildings on the block face, the present condition of surrounding buildings, and the current level of repair and maintenance of neighboring buildings shall be considered.

New construction has taken place in the immediate vicinity with the mixed-use building across Euclid to the east. Otherwise buildings of various ages along Lindell are occupied and the nearby properties on Euclid to the north are in the heart of the neighborhood commercial area of the Central West End.

- 2. Reuse Potential: The potential of the structure for renovation and reuse, based on similar cases within the City, and the cost and extent of possible renovation shall be evaluated. Structures located within currently well maintained blocks or blocks undergoing upgrading renovation will generally not be approved for demolition.**

The office building has been vacant for some time. A proposal presented in 2005 included the demolition of the existing building and new construction. Neither the potential reuse of the building nor its demolition was addressed in the staff agenda item for the January 2005 Preservation Board meeting; the Board did not take any action at that time to approve the demolition or proposed building. Although that project did not go forward, the site has been considered to be a redevelopment opportunity from that time.

- 3. Economic Hardship: The Office shall consider the economic hardship which may be experienced by the present owner if the application is denied. Such consideration may include, among other things, the estimated cost of demolition, the estimated cost of rehabilitation or reuse, the feasibility of public or private financing, the effect of tax abatement, if applicable, and the potential for economic growth and development in the area.**

As the plan is for demolition and new construction, no information regarding economic hardship has been submitted.

E. Urban Design. The Office shall evaluate the following urban design factors:

- 1. The effect of a proposed partial demolition on attached or row buildings.**

Not applicable.

- 2. The integrity of the existing block face and whether the proposed demolition will significantly impact the continuity and rhythm of structures within the block.**
- 3. Proposed demolition of buildings with unique or significant character important to a district, street, block or intersection will be evaluated for impact on the present integrity, rhythm, balance and density on the site, block, intersection or district.**

The Heart Association Building is the shortest of the buildings on the north side of Lindell between Euclid and N. Taylor. While the corner site is a prominent one, the building does not have a particularly strong presence and is not visually dominant. The buildings to the east are several stories taller than the existing building at 4643, which is more in scale with the two-story buildings to the north on Euclid, and the historic residence and the Bel Air Motel across Lindell to the south.

- 4. The elimination uses will be considered; however, the fact that a present and original or historic use of a site does not conform to present zoning or land use requirements in no way shall require that such a nonconforming use to be eliminated.**

Not applicable.

F. Proposed Subsequent Construction. Notwithstanding the provisions of any ordinance to the contrary, the Office shall evaluate proposed subsequent construction on the site of proposed demolition based upon whether:

- 1. The applicant has demonstrated site control by ownership or an option contract;**
Opus Development Company, LLC has a contract to purchase the property from Heartland Bank.
 - 2. The proposed construction would equal or exceed the contribution of the structure to the integrity of the existing streetscape and block face. Proposal for creation of vacant land by demolition(s) in question will be evaluated as to appropriateness on that particular site, within that specific block. Parking lots will be given favorable consideration when directly**
 - 3. The proposed construction will be architecturally compatible with the existing block face as to building setbacks, scale, articulation and rhythm, overall architectural character and general use of exterior materials or colors;**
The developers propose to construct a 12-story residential building with commercial space on the ground story. The design of the proposed building is reviewed under the New Construction standards of the Central West End Historic District below.
 - 4. The proposed use complies with current zoning requirements;**
The property is zoned H, Area Commercial.
 - 5. The proposed new construction would commence within twelve (12) months from the application date.**
Construction would start within one year.
- G. Commonly Controlled Property.** If a demolition application concerns property adjoining occupied property and if common control of both properties is documented, favorable consideration will generally be given to appropriate reuse proposals. Appropriate uses shall include those allowed under the current zoning classification, reuse for expansion of an existing conforming, commercial or industrial use or a use consistent with a presently conforming, adjoining use group. Potential for substantial expansion of an existing adjacent commercial use will be given due consideration.
Not applicable.
- H. Accessory Structures.** Accessory structures (garages, sheds, etc.) and ancillary structures will be processed for immediate resolution. Proposed demolition of frame garages or accessory structures internal to commercial or industrial sites will, in most cases, be approved unless that structure demonstrates high significance under the other criteria listed herein, which shall be expressly noted.
Not Applicable.

Central West End Historic District Standards

...Visual compliance shall be judged on massing and detail in addition to size and scale.

It is not the intention of these regulations to discourage contemporary design that, through careful attention to scale, materials, siting and landscaping, is harmonious with the existing historic structures. The historic character of the historic district is not enhanced by new construction that attempts to mimic the historic.

Opus has responded to the various comments about the project it presented in December 2013 with a revised design for the exterior walls of the building. Many aspects of the proposal remain the same, including the site plan, building footprint, height, vehicular access plan and parking. While the earlier design was presented as having a fresh, somewhat contemporary design, the revised design goes further in this regard. The contemporary aspects of the design are seen in the emphasis of the vertical bays and corner tower-forms of the Lindell Boulevard façade, the integration of over 200 balconies into the exterior walls, the more emphatic articulation of the walls with vertical plane breaks, the fenestration pattern, a distinctive cornice, and other elements.

It seems likely that most observers would find the contemporary design to be harmonious with the existing historic buildings in the district through its materials, which is predominantly brick. The proposed building's size, scale, massing, siting, and landscaping – influenced by the corner location, taller height as appropriate for Lindell, and mixed-use building – are likely also to be considered appropriate for a contemporary building of this type and at this location.

New Construction or Additions to Existing Residential or Institutional Buildings

When designing a new residential or institutional building, the height, scale, mass, and materials of the existing buildings and the context of the immediate surroundings shall be strongly considered.

A. Height, Scale and Mass

...

A new high-rise building may be located either on a block face with existing high-rise structures or on a corner site. A new high-rise building may exceed the average height of existing structures on the relevant block face. In all cases, window levels, water tables and foundation levels of the new building shall be comparable to those of neighboring buildings. Special emphasis shall be given to the design of the building base and to upper story setbacks as they relate to and affect neighboring buildings.

For those portions of the historic district located in areas governed by Form Based Zoning, the building heights prescribed for new construction have been determined appropriate from both the historic district and Form Based Zoning perspectives. The 3-story minimum height for these areas is hereby adopted by these Standards. The maximum heights for *Boulevard Type 1 Development* (24 stories west of Newstead Avenue and 12 stories east of Newstead Avenue) are hereby adopted. For the small area of the historic district within the *Neighborhood Core Development* area of the Form Based Zoning code, the 6-story minimum height and unlimited maximum height are also adopted.

For Form Based Zoning that occurs after the adoption of these standards, consultation shall determine appropriate heights for new buildings within the historic district that will not directly conflict with these standards and should be used in conjunction with these standards.

Complies. The proposed building, at 12 stories, is within the height prescribed for Boulevard Type 1 Development in the Central West End Form Based Zone District (FBZD). The height requirement for this location is between 3 and 24 stories.

The proposed building must relate to both the taller buildings on Lindell and the two-story historic buildings to the north on Euclid. The building's two-story base establishes a relationship with the historic buildings, although the specific elements noted in the standards – water tables and window levels – are not replicated. The base has a contemporary design with an emphatic pier-and-bay arrangement that incorporates the parking at the mezzanine level and establishes relationships with the articulation of the upper facades. The break created by the drive-through banking lanes and alley between the proposed new building and the historic building to the north reduce the need for strict replication of base features and the contemporary design reduces the expectation for such strong relationships.

As noted earlier, the rise of the Euclid Avenue façade to 12 stories without any setback from a position at the sidewalk would introduce a new height and scale inherent with the agreed-upon height range for new buildings on Lindell Boulevard. This aspect of the design has not received criticism. The light court facing Lindell Avenue, while questioned initially, does not reduce the building's compatibility with its setting.

B. Location

A new or relocated structure shall be positioned on its respective lot so that the width of the façade and the distance between buildings shall be within 10 percent of such measurements for a majority of the existing structures on the block face to ensure that any existing rhythm of recurrent building masses to spaces is maintained. The established setback from the street shall also be strictly maintained. Garages and other accessory buildings, as well as parking pads, must be sited to the rear of, and if at all possible, directly behind the main building on the lot.

The proposed building complies in the important aspect of maintaining the established setback along both streets.

The siting of the building maintains the setback of the broad, landscaped terrace in front of the rest of the buildings on the block, but because entrances for the commercial spaces and main residential lobby must be at grade, the terrace itself is not maintained. The design of the paved plaza in front of the building includes raised planters that visually link the area to the raised, broad lawns of the buildings to the east. The replacement of the terrace with a plaza would not reduce the continuity of the setback line.

The width of the parcel is comparable to the parcel to the east on Lindell on which the Bank of America building stands. The base of the building has a somewhat wider façade than the buildings east on Lindell yet the building would not introduce any distinctly different pattern of building masses and voids into the Lindell blockfront.

The building would introduce a new mass and rhythm on Euclid in general due to the scale of the building. The width of the Euclid Avenue façade is considerably greater than historic buildings on Euclid, but the modern building directly across Euclid has a longer street façade.

C. Exterior Materials

In the historic district, brick and stone masonry and stucco are dominant, with terra cotta, wood and metal used for trim and other architectural features. Exterior materials on new construction shall conform to established uses. For example, roof materials shall be slate, tile, copper or architectural composite shingles where the roof is visible from public or common areas.

All new building materials shall be the same as the dominant materials of adjacent buildings. Artificial masonry is not permitted, except that cast stone that replicates sandstone or limestone is allowed when laid up in the same manner as natural stone. Cementitious or other paintable siding of appropriate dimension is an acceptable substitute for wood clapboards. A submission of samples of all building materials, including mortar, shall be required prior to approval.

The pointing of mortar joints on masonry additions to historic buildings shall match that on the original building in color, texture, composition and joint profile.

Complies. Brick is the dominant material of the adjacent buildings on Euclid, both historic and new, as well as the buildings on Lindell to the east of the site, with the exception of the Bank of America building.

Brick dominates the exterior walls of the proposed building in a way that is compatible with the use of brick in the historic district. Two colors of brick are proposed, a mid-range red brick and a warm light brown color; colored mortar will reinforce the planar quality of the brick portions, a practice common in brickwork in the district.

While some of the tall buildings in the district have stone bases of two or three stories, this pattern is not maintained by the mid-century buildings in the district, or the more recent 4545 Lindell. There will be a distinct base and cast stone will be used to frame the central portion of the Lindell Avenue façade and as a water table on both the Lindell and Euclid Avenue façades. As noted above, the base has a more contemporary feeling and reinforces design elements of the upper facades, rather than constitute a distinct unit of the design.

Stucco, in two colors of brown, is proposed as a secondary material. It will be used as the exterior walls of part of the 11th story and the entire 12th story. It will appear on all façades as part of the terminating portion of the building.

Dark bronze colored metals will be used in several places on the building. The base bays will have a curtain wall system with metal mullions and muntins. The windows of the upper façade will be dark bronze metal, as well as the flat canopies over the entrances. The spandrel panels to be incorporated into the base will be of the same color, and will feature a textured design, which is yet to be determined. A cornice contemporary in design will also be dark bronze-colored metal.

The metal balconies will be dark bronze painted aluminum units. They will have a solid metal deck floor and metal handrails. Balconies not partially recessed will be supported by metal cables of the same color and material.

The applicant will provide samples of brick, cast stone, stucco colors, and other materials selected for the building at the Preservation Board meeting. The proposed materials, as well as their proportion and placement on the building, meet the historic district standards.

D. Fenestration

New buildings and building additions shall be designed with window openings on all elevations visible from the street. Windows on the front façade shall be of the same proportions and operation as windows in adjacent buildings and their total area should be within 10% of the window area of the majority of buildings on the block.

Complies to the extent a contemporary design is likely to comply. The complex fenestration pattern, which provides large window areas in all units, will be used on all facades. The description of the compatibility of a fenestration pattern above pertains to designs that are traditional in design. The fenestration seems part of the contemporary aesthetic in the scale of the windows and the combination of large fixed panes with smaller, operable sash units.

E. Decks

Not applicable.

F. Accessory Buildings

Not applicable.

G. Curb Cuts and Driveways

Where curb cuts for vehicles and driveways did not exist historically, new ones shall not be introduced. Curb cuts for pedestrians at street intersections, mid-block crossings, passenger drop-off and loading zones, and similar locations shall be allowed. Where a parcel is not served by alley access, proposed exceptions shall be considered on a case-by-case basis and evaluated for design suitability.

A new curb cut and driveway is proposed. The parcel has no alley access, as it is separated from the alley by the drive-through banking lanes of the adjacent bank property. The building will provide interior parking for residents, two levels underground and an additional level at the second story, which will be disguised as part of the base of the building. The vehicular access to the garages is via two-way driveways from both Euclid and Lindell, as well as a one-way service driveway with a separate entrance from Euclid. This property has an existing curb cut on Euclid, but not one on Lindell. Opus proposes a new curb cut on Lindell to accommodate access to the interior parking on the second-story level. The proposed curb cut would be at the eastern edge of the property and the associated two-way driveway will penetrate the building. A row of angled parking spaces will be within the service area of the building.

H. Coordination with Form Based Zoning

When portions of the historic district are located in an area for which a form-based code has been adopted, the Regulating Plan, Building Envelope Standards and Building Development Standards will be used in conjunction with these standards to review new construction within that portion of the historic district.

Overall, the standards for new construction in the Central West End Historic District and Form-Based Code District align well and are not in direct conflict. The Form Based Code District standards state that if they were in conflict, the Historic District Standards would prevail. The materials proposed for the revised design are in compliance with both the Historic District Standards and the Form Based Code District Architectural Development standards.

Opus proposes to build a High Rise Residential Building type, one of the types allowed in the Boulevard Type 1 Development Zone. The building meets nearly all of the Building Envelope and Building Development Standards of the FBZD, as has been the pattern for other projects reviewed under those standards. Initial questions about the dominance of the deep light court facing Lindell have not been shared and the more interesting articulation of the exterior walls reduces the absolute dominance of the light court in the massing of the building. While the base of the building would share similar forms with storefronts – large bays of glazing – its design will be elevated above the minimal storefront infill. There is, admittedly, some disjuncture between the allowed commercial use and avoidance of the architectural vocabulary associated with those uses.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the criteria for demolition review in the Central West End Certified Local Historic District and the Preservation Review District criteria led to these preliminary findings:

- 4643 Lindell, the Heart Association Building, is a sound, Merit property located in the Central West End Certified Local Historic District and is in a Preservation Review District.
- There is no Redevelopment Plan adopted by ordinance, although one is being developed.
- While the surrounding area would support rehabilitation of the office building, the site was identified as one for redevelopment in 2005 when it was sold by the Heart Association and a subsequent proposal for a tall residential building was considered.
- The commonly-controlled property and accessory structure criteria are not applicable for this review.
- The owner is proposing new construction, a twelve-story apartment building with commercial use on the ground floor.
- OPUS responded to the criticism it received concerning the design proposed in December and addressed, in particular, ways the building did not meet the historic district standards in materials, the sophistication of design of the exterior walls and the integration of the balconies into the building.
- The revised design goes further in presenting a contemporary aesthetic while continuing to use the base as a unifying, yet not distinctly separate, element. The use of differentiated top stories and a distinctive cornice, as well as a uniform mid-section of the building, evoke traditional tripartite tall building design elements as part of a contemporary design.

- The Historic District Standards do not discourage contemporary design. The two-story base that relates to the height of nearby historic buildings, and extensive use of brick, provide easily perceived ways in which the new building will be harmonious with existing historic buildings, even as its scale is much larger and its aesthetic is contemporary.
- The building complies with the historic district standards for height, scale and mass.
- The building complies with the standard for location as it maintains the existing setbacks on Lindell and Euclid.
- The building complies with the historic district standards for exterior materials.
- The fenestration pattern, which would occur on all four facades, meets that aspect of the standard while being contemporary in scale and operation.
- New curb cuts and driveways are proposed and are considered acceptable as the parcel does not have access to the alley.
- While the historic district standards do not address the use of exterior balconies on a tall residential building, the placement of the balconies in the earlier design reduced the building's compatibility with buildings in the historic district. The revised design addressed this criticism directly. The balconies, many of which are recessed so that they project only two feet beyond the face of the building, now seem integrated into the design as the balconies of other buildings in the district are.
- The historic district standards also do not address specifically the design of the plaza area yet it is understood that it should be compatible with the new building and the district streetscapes. The plaza design provides spaces for the various uses, ranging from more public areas, both paved and as lawn, near the commercial area of the building and more private benches and walkways to the residential entrance. The design includes a considerable area that will be vegetation, and uses planters and evergreen hedges to relate to the elevated terrace that extends along most of the block. Its contemporary design seems appropriate for the design of the building.
- Through-the-wall grilles are proposed for each unit in the building as part of the HVAC system. An extrapolation of the requirement for all mechanical equipment at existing buildings to be placed so as not to be visible from the street raises questions about this aspect of the design. The metal grilles will be custom painted to match the color of the brick. No grilles will penetrate the brick on forward portions of the Lindell Boulevard façade. While the grilles will be visible, opinions differ on how visually noticeable they would be, the extent to which the grilles make the apartment building appear more like a hotel building, and the quality of the HVAC system for the building.
- The Historic District Standards and the Form-Based Zoning Building Development Standards are not in conflict as they address any aspect of the design.
- As the site is prominent and the building is large in scale for the area, its design sophistication and use of materials must be appropriate for the Central West End Historic District.

Based on the preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval to the demolition of the Heart Association Building, as the site has been identified as one for redevelopment since 2005 and the criteria for proposed subsequent construction have been met.

The earlier recommendation that the design of the proposed new building more than minimally meet the standards for new construction due to the scale and prominence of the project, and that the proposed new building display the sophistication of design and employ the high quality materials that dominate in the architectural presence of the other buildings in the historic district, remains valid.

As the revised design comes so much closer to meeting those expectations, and due to the fact that materials have been presented for approval, the Cultural Resources Office recommends Preliminary Approval of the proposed design, with the usual stipulation that consultation continue as the design is refined and that final drawings and materials be approved by the Cultural Resources Office.



RENDERING OF THE BUILDING IN ITS LINDELL BOULEVARD CONTEXT



SITE PLAN AND GROUND FLOOR PLAN



PLAN OF PLAZA



LINDELL BOULEVARD AND EAST FAÇADES



NORTH and EUCLID AVENUE FAÇADES



LINDELL RESIDENCES IN THE LINDELL BOULEVARD STREETScape



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

B.

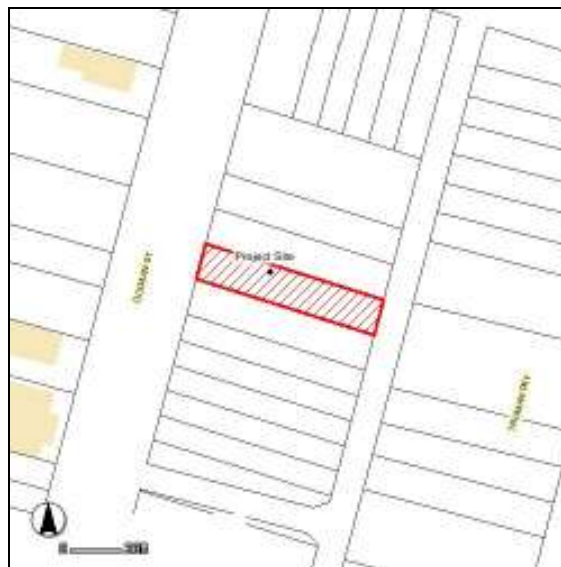
DATE: January 27, 2014
ADDRESS: 1220 Dolman Street
ITEM: Preliminary Review: New construction, single-family house.
JURISDICTION: Lafayette Square Certified Local Historic District — Ward 6
STAFF: Andrea Gagen, Cultural Resources Office



1220 DOLMAN

DEVELOPER:
Mike Whalen/Whalen Custom
Homes, Inc.

RECOMMENDATION:
That the Preservation Board grant preliminary approval to this proposal if the setback issue is addressed and with the condition that the design be developed as proposed and that design details will be reviewed and approved by the Cultural Resources.



THE PROJECT

The applicants propose to construct a single-family dwelling on a vacant lot on the east side of Dolman.

RELEVANT LEGISLATION:

Excerpt from Lafayette Square Historic District Ordinance #69112:

ARTICLE 3: NEW CONSTRUCTION AND ADDITIONS TO HISTORIC BUILDINGS

303 NEW RESIDENTIAL CONSTRUCTION BASED ON AN HISTORIC MODEL XAMPLE

303.1 Historic Model Example

In order to be consistent with the historic character of the district, each new residential building shall be based on a Historic Model Example (HME). This is understood to be one specific historic building and the design for a new building cannot draw upon elements from several buildings. The HME selected should be located in close proximity to the site of the new construction and represent a common property type. The property owner shall obtain concurrence from the Cultural Resources Office that the HME is appropriate for the site.

The applicants have proposed 1215 Mississippi as an HME for the new house. As it is a common type of single-family dwelling in the Lafayette Square Historic District, the Cultural Resources Office has approved it as an HME.

303.2 Site Planning

A] Alignment and Setback

- 1) New construction and additions shall have primary façades parallel to such façades of adjacent buildings and have the same setback from the street curb.**
- 2) In the event that new construction or addition is to be located between two existing buildings with different alignments to the street or with different setbacks, or in the event that there are no adjacent buildings, then the building alignment and setback that is more prevalent within the block front, or an adjacent block front, shall be used.**
- 3) New residential buildings in an area with no existing historic buildings shall have a common alignment based on the historic pattern of that block front or an adjacent block front.**
- 4) The existing grades of a site may not be altered beyond minor grading to affect water runoff.**
- 5) The setback requirements are not intended to disallow construction of alley or carriage house type new construction.**
- 6) Ancillary buildings shall be placed to be the least visible from public streets.**
- 7) There shall be a sidewalk along all public streets. The sidewalk shall align with adjacent sidewalks in terms of distance from the curb. New and refurbished public sidewalks must be a minimum of 4 feet wide where possible and have a cross slope that provides an accessible route.**

- 8) No new curb cuts for vehicles shall be allowed. Abandoned curb cuts will not be reutilized. Curb cuts for pedestrians at street intersections, mid-block crossings, passenger drop-off and loading zones, and similar locations shall be allowed.**

The site plan meets the standards for alignment, but the setback does not seem to be appropriate for Dolman. It is approximately 5 foot less than that on the buildings across the street, a distance recommended to the applicant.

303.3 Massing and Scale

- A] The massing of new construction shall be based on that of the HME selected to be comparable to that of the adjacent buildings or to the common overall building mass within the block front. This massing is typically relatively tall, narrow, and deep.**

The massing will be relatively tall, narrow and deep, as for a single-family house in Lafayette Square.

- B] The HME and new building shall have a foundation raised above grade as a means to maintain compatibility in overall height with adjacent historic buildings.**

The foundation will be raised above grade at the façade.

- C] The HME and new building shall appear to be the same number of stories as other buildings within the block front. Interior floor levels of new construction shall appear to be at levels similar to those of adjacent buildings.**

Complies. There are currently no other residential buildings on this side of the block.

- D] The height of the HME and new construction shall be within two feet above or below that the average height within the block. Building height shall be measured at the center of a building from the ground to the parapet or cornice on a flat roof building, to the façade cornice on a Mansard roofed building, or to the roof eave on a building with a sloping roof.**

The height of the new house will match the HME. It will be within a foot or two of a proposed adjacent building.

- E] The floor-to-ceiling height of the first floor of HME and new construction shall be a minimum ten feet, and the second floor floor-to-ceiling height shall be a minimum of nine feet.**

The heights of each floor exceed these minimum dimensions.

303.4 Proportions and Solid to Void Ratio

- A] The proportions of the HME and new construction shall be comparable to those of the HME and adjacent buildings. The proportional heights and widths of windows and doors must match those of the HME, which should be 1:2 or 1:3, the height being at least twice the width, on the primary façades.**

- B] The total area of windows and doors in the primary facade of new construction shall be within 10 percent of that of the HME.**

- C] The proportions of smaller elements, including cornices and their constituent components, of the HME will be replicated in the new construction.**

The applicant proposes to meet these standards by basing the new design closely on the HME.

303.5 Exterior Materials and Color

- A] Exposed foundations must be scored or cast to simulate load-bearing masonry mortar joints, or be faced with stone laid in a load-bearing pattern.**

The foundation will be scored stucco to simulate load-bearing masonry with mortar joints, as in the HME.

- B] As in the HME, there shall be a differentiation in all façades near the level of the first floor that defines the foundation as a base. The wall materials and /or the detailing at the base shall be distinct from that of the rest of that façade.**

There is a differentiation in all facades at the foundation level.

- C] The exterior wall materials of HMEs are a combination of stone and brick or all brick. Typically the primary façade material is different from the single material used for the side and rear walls.**

All exterior walls of the proposed house will be brick above the concrete foundation.

- D] The materials of the primary façade of new construction shall replicate the stone or brick of the HME.**

- 1) A stone façade shall use the stone of the HME. It shall have smoothly dressed stone cut into blocks with the same proportion as that of the HME, be laid with the same pattern, and have the same dimension of mortar joints. The stone façade shall have the same depth of return on the secondary façades as the HME.**

- 2) The use of scored stucco and cementitious materials to replicate the stone of the façade of the HME is permitted. As for stone façades, the return at the secondary façades shall replicate that of the HME.**

- (a) Brick shall replicate that of the HME as a pressed face brick with a smooth finish and a dark red color with only minor variations in color. Brick shall have these dimensions, 2 2/3" x 8" x 4", or be based on an HME. No brick façade will display re-used brick of varying colors and shades.**

- (b) Brick will be laid as in the HME, generally in a running bond, and its mortar joints will replicate, by type of façade, that of the HME in color, or be dark red or gray.**

- (c) Ornamental brick, stone or replica stone lintels, cornices, sills and decorative bands or panels shall be based on the HME. Window sills on brick primary façades shall be stone or pre-cast replica stone, based on the HME.**

The front façade will use stucco to replicate the façade of the HME. The color and mortar color of the brick veneer on the other facades is yet to be determined. Notes indicate window surrounds and window sills on the façade would be replicated in cast stone.

- E] The HME shall determine the choice of the material used on the secondary and rear façades of a new residential building. Typically, common brick side and rear walls were combined with a face brick or stone street façade. Materials permitted for use**

on secondary and rear façades, therefore, shall be brick of suitable color, texture, and bond, and be pointed with mortar appropriate in color, texture and joint profile.

Complies.

- F] Siding of vinyl, aluminum, fiber cement, or wood of any type, style, or color is prohibited on any façade because of the requirement for an HME for new residential construction.**

Complies.

- G] The materials identified above may be combined with modern construction techniques in the following ways:**

- 1) The appearance of stone on a raised foundation may be created using stone veneer, parging with joint lines to replicate a load-bearing masonry pattern, or poured concrete that has the pattern of load-bearing masonry.**
- 2) Brick, stone, and stucco scored to appear as stone may be installed as a veneer on exterior walls.**

Complies.

303.6 Windows

- A] Windows in the HME and their sash will be the model for windows in new residential construction. The size and location of window openings in the HME will be replicated on the primary façade.**

Complies.

- B] The profiles of the window framing elements – i.e. frames, sills, heads, jambs, and brick molds – will match the dimensions and positions of those in the HME.**

- C] Window Sash**

- 1) Window sash shall match that of the HME in terms of operation, configuration (number of lights), and dimensions of all elements. The method of a window's operation may be modified on the interior in a way that does not change the exterior appearance and provides for accessibility.**

- D] Materials**

- 1) Wood windows manufactured to match the characteristics of the HME are preferred on the primary façade. Any window sash that must be replaced in non-historic residential buildings constructed under these standards, or previous ones, shall meet these standards.**
- 2) Factory-painted, metal clad wood and composite or fiberglass windows are acceptable for the primary façade if they meet the above requirements and are acceptable for secondary and rear façades.**
- 3) Vinyl sash is prohibited.**
- 4) All glazing will be non-reflective glass.**
- 5) Windows may have double-glazed, low-solar-gain, Low-E glazing sash; tinted Low-E glazing is not permitted.**

The windows to be used on the façade will have segmental arched heads and be one-over-one double-hung wood sash; they will be windows approved by the CRO as to materials, dimensions and profiles similar to those of the HME, and have the correct brick mold.

- F] Windows in secondary and rear façades that do not face the street should have the proportions and size based on the HME. The operation of the window sash and material is not regulated, other than not being vinyl.**

The same type of window sash, but with flat heads, is proposed for the side and rear façades.

- G] Bathroom windows in private secondary and rear façades may have frosted glass. Historical examples include glue chip and machine textured glass.**

- H] Storm Windows and screens, as on historic buildings, are allowed on the interior of primary public façade windows and on the exterior and interior of other façade windows. Other stipulations in Sections 203.1(D) and 203.2(D) apply here as well.**

303.7 Doors

- A] Doors on the primary and secondary street façades must be based on the HME and meet these requirements:**

- 1) Be a minimum of 7 feet in height.**
- 2) If the front entry door of the HME is set back from the façade, new construction must replicate this condition and replicate any panel reveals of the HME.**
- 3) All entry doors on street façades must have a transom, transom bar and transom sash, based on the HME.**
- 4) Slight modifications to the entrance design of the HME may be acceptable to provide 32-inch-wide openings, flush thresholds, and the use of swing clear hinges.**

- B] Clear and non-reflective glazing shall be used in street façade doors and transom sash.**

- C] Accessibility to residential buildings is encouraged and can be obtained through the selection of an HME, entrance design, the placement of actual floor levels, and other design choices.**

The applicant proposes to meet these standards through the use of a door that replicates that of the HME, replication of the paneled reveals of the entry, installation of a transom above the door, and use of clear glazing in the door. Metal handrails would be placed at the entrance steps.

303.8 Cornices

- A] The design of a primary façade cornice and all its elements shall be based on the HME. In the event that the measurements of the HME are not readily attainable, the following will be used:**

- 1) Crown molding, if used must be a minimum of five and one quarter inches (5 ¼") in height.**
- 2) Dentil molding, if used must be a minimum of four inches (4") in height.**

3) Decorative panels or other moldings may be used between brackets or corbels only to replicate the selected HME.

B] The space between brackets or corbels, and their height and proportions, shall replicate that of the HME.

The cornice of the HME would be replicated in scale and design.

303.9 Roofs

A] The form of the roof must replicate the HME.

D] Gutters and Downspouts

1) Gutters on the primary public façade must be incorporated into a cornice design based on an HME to the extent that the gutter is not visible as a separate element. No gutters can be placed across the primary public façade as individual elements. Gutters and downspouts shall be of one of the following materials:

(a) Copper; painted or allowed to oxidize.

(b) Galvanized metal, painted.

(c) Aluminum; finished as a non-reflective factory-finish

Complies. The roof and associated elements of the proposed house would be a flat roof, to replicate that of the HME; no dormers or chimneys are proposed.

305 NEW GARAGES

305.1 Garages shall be set within 10 feet of the alley line.

305.2 Garages shall be directly behind the main structure on the site. If site conditions prohibit this placement, then the new structure shall be positioned as close to this arrangement as possible.

305.3 Vehicular access shall only be from the alley. As per Section 303.2(A)(8), no new curb cuts are allowed and no abandoned cuts will be re-used in conjunction with a new driveway.

305.4 Garage doors shall be parallel to, and face, the alley.

305.5 Garages shall have a footprint of no more than 576 square feet, equal to a 24 foot by 24 foot two-car garage. Any auxiliary building with a larger footprint shall be considered a carriage house and shall be regulated under Section 306.

305.6 Garages shall have one of these two roof forms:

A] A gable roof placed with its ridge parallel to the alley and the ridge peak at twelve (12) feet or less.

B] A nearly flat roof edged by a shallow parapet.

305.7 Construction materials:

A] While there is no HME for a garage, this building type was traditionally built with a single exterior wall material: wood siding or brick. This traditional pattern will guide the selection of garage materials. The material selected shall be used on all four sides. The acceptable materials for new garages are:

1) Brick of a dark red or brown untextured surface, laid with colored mortar;

2) Wood, or cement fiber siding installed to simulate wood siding;

3) Cement fiber panels.

B] A garage that sides on a public street or side yard shall be brick.

C] Vinyl siding is not allowed.

No garage is proposed at this time.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the criteria for new residential construction in the Lafayette Square Historic District Standards led to these preliminary findings:

- The proposed site for construction, 1220 Dolman, is located in the Lafayette Square Local Historic District on a block of Dolman that is currently vacant except for an industrial building at one end.
- The applicant has proposed a Historic Model Example for the new house, 1215 Mississippi, which has been approved by the Cultural Resources Office.
- The applicant proposes to construct a dwelling with a façade that replicates that of the HME, has one stucco façade and three façades of brick, and meets all other standards for new construction except for the setback requirement.
- A setback of 15 feet, instead of 10 feet, would be more appropriate for this site.

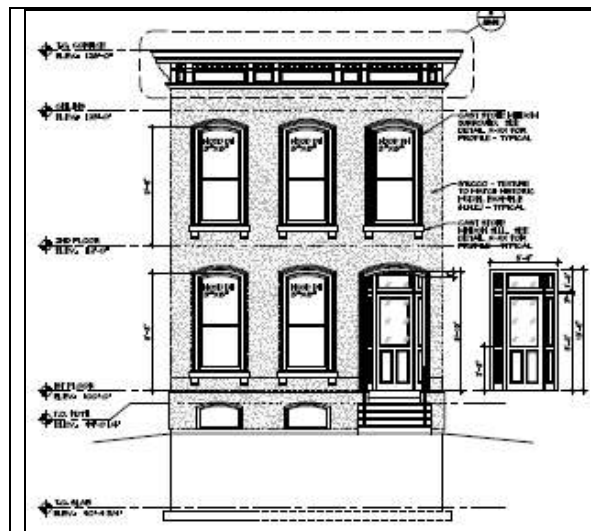
Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board grant preliminary approval for the proposed new construction, if the setback issue is addressed and with the condition that the design be developed as proposed and that design details will be reviewed and approved by the Cultural Resources Office to ensure compliance with the district standards.



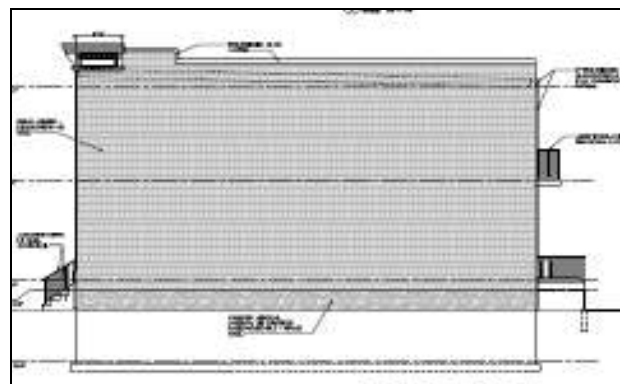
SITE PLAN



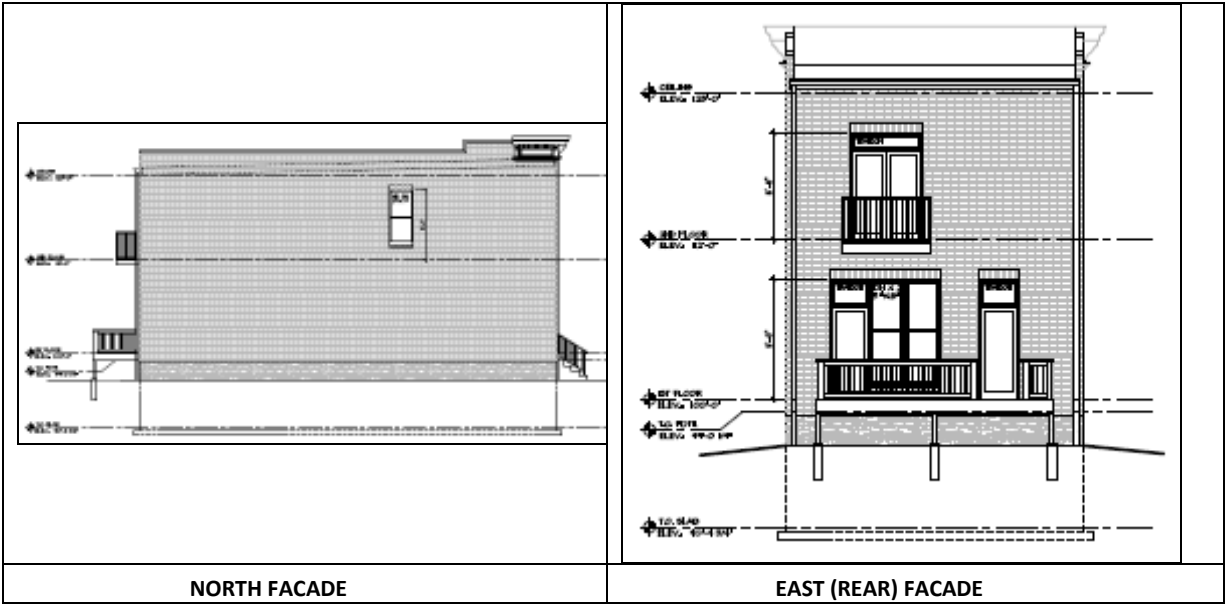
MISSISSIPPI: HISTORIC MODEL EXAMPLE



FRONT (WEST) FAÇADE



SOUTH FAÇADE





CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

C.

DATE: January 27, 2014
ITEM: Appeal of Director's Denial to retain landscape timber retaining walls installed without a permit.
ADDRESS: 3114 Lemp Ave.
JURISDICTION: Benton Park Local Historic District — Ward 9
STAFF: Bob Bettis, Preservation Planner, Cultural Resources Office



3114 LEMP

OWNER/APPLICANT:

William and Grace Bradshaw/
Joe Larson -Contractor

RECOMMENDATIONS:

That the Preservation Board uphold the Director's Denial, as the landscape timber retaining walls do not comply with the Benton Park Historic District Standards.



RELEVANT LEGISLATION:

Excerpt from Ordinance #67175, the Benton Park Historic District:

101.20 Retaining Wall

A structure of masonry, reinforced concrete and masonry or wood which holds back soil.

402.2 Retaining Walls on Public Facades

- 1. New and reconstructed retaining walls shall be based on a Model Example.**

Comment: New and reconstructed retaining walls shall replicate the appearance of an historic wall. Thus stone or brick may be applied as a veneer to a concrete wall as long as the outward appearance meets the visual qualities of the Model Example.

- 2. The following types of retaining walls are prohibited on Public Facades:**

- 1. Railroad ties**
- 2. Landscape timbers**
- 3. Concrete block of any type**
- 4. Exposed cast-in-place or precast concrete.**

Does not comply. The constructed retaining walls are made of landscape timbers and not based on a Model Example.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resource Office's consideration of the criteria for windows led to these preliminary findings:

- 3114 Lemp is located in the Benton Park Local Historic District.
- The retaining walls were installed without a permit.
- The walls are not based on a Model Example.
- Landscape timbers is not an acceptable material for retaining walls under the Standards.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application for the landscape timber retaining walls as they are not in compliance with the Benton Park Historic District Standards.



3114 LEMP LOOKING SOUTH



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

D.

DATE: January 27, 2014
ITEM: Appeal of Director's Denial to install metal security doors.
ADDRESS: 3300 Lemp Avenue
JURISDICTION: Benton Park Local Historic District — Ward 9
STAFF: Andrea Gagen, Preservation Planner, Cultural Resources Office



3300 LEMP

OWNER/APPLICANT:
Alex E. & Lisa David

RECOMMENDATIONS:
That the Preservation Board uphold the Director's Denial, as the proposed security doors do not comply with the Benton Park Historic District Standards.



RELEVANT LEGISLATION:

Excerpt from Ordinance #67175, the Benton Park Historic District:

207.3 Security Bars and Doors

Comment: Historically, security bars were only used at basement windows and consisted of ornamental ironwork placed to the exterior side of the window. This ornament added to the overall design of the facade.

1. Historic security bars and ironwork in front of windows and doors shall be retained.

Not applicable.

2. New security bars and doors shall be based on a Model Example.

Does not comply. No Model Example has been provided for the proposed security doors.

3. Except as noted otherwise, security bars and doors are prohibited at Public Facades.

Does not comply. The proposed security doors would be at a corner storefront entry.

Comment: Security bars and doors may be added to the interior of windows and doors. However, City Building Codes must be observed to preserve life and safety.

PRELIMINARY FINDINGS AND CONCLUSION:

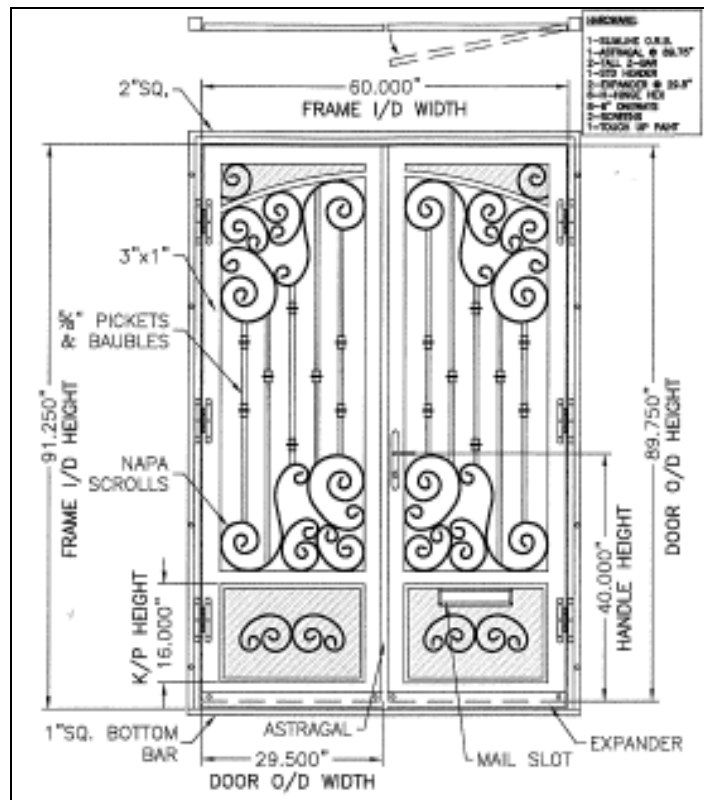
The Cultural Resource Office's consideration of the criteria for windows led to these preliminary findings:

- 3300 Lemp is located in the Benton Park Local Historic District.
- The existing doors at the corner entrance are appropriate for a commercial space in a mixed use building.
- New security bars and doors are not allowed on Public Façades under the historic district standards, unless based on a Model Example is used.
- The proposed security doors are not based on a Model Example, and it is unlikely that such an example could be found, as historic doors most often did not incorporate security bars.
- A mail slot, if needed, could be installed in the bottom panel of one of the existing doors. Security concerns could be addressed through materials installed on the interior of the exiting doors.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application for the proposed security doors as they are not in compliance with the Benton Park Historic District Standards.



CORNER ENTRY WHERE PROPOSED SECURITY DOORS WOULD BE INSTALLED



PROPOSED DESIGN OF SECURITY DOORS



CITY OF ST. LOUIS
**PLANNING & URBAN
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CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

E.

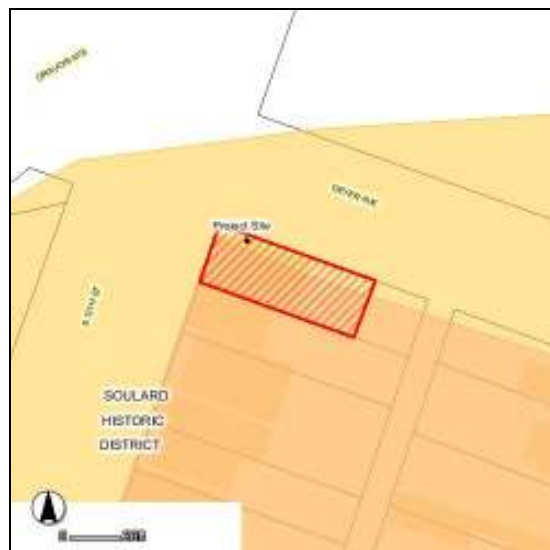
DATE: January 27, 2014
ADDRESS: 1900 S. 12th Street
ITEM: Appeal of Director's Denial to raise the existing 6-foot fence and install plastic decking board.
JURISDICTION: Soulard Certified Local Historic District — Ward 7
STAFF: Andrea Gagen, Preservation Planner, Cultural Resources Office



1900 S. 12th ST.

OWNER/APPLICANT:
Thomas & Sheela Cochran

RECOMMENDATION:
That the Preservation Board uphold the Director's Denial, as the proposed fencing is not compliant with the Soulard Historic District Standards.



RELEVANT LEGISLATION:

Excerpt from Ordinance #57078, the Soulard Historic District:

403 FENCES

Comment: Fences are a very important part of the streetscape within historic districts.

Fences can frame a view of an individual's property, define public versus private ownership, and act in unison with other fences and walls to add a sense of continuity and rhythm to the street.

403.2 High Fences

High fences are fences taller than 48", but less than 72" in height when measured from the ground.

Does not comply. The altered fence would be 76 inches in height as the current fence is the maximum 72 inches.

Comment: Fences higher than 72" are prohibited by City Building Codes.

High fences are restricted to the following locations:

At or behind the building line of a Public Facade.

Private or Semi-Public Facades

High fences shall be one of the following types:

Boards placed vertically (See Figure W), if the structure of the fence will not be visible from the Public Facade.

Does not comply. The board placed at the bottom of the fence would be placed horizontally. It would also be of a material other than wood.

Lattice of one consistent design, either placed at a 45 or 90 degree angle (See Figure W).

The lattice shall be completely within a frame constructed of posts and rails.

Not applicable.

Wrought or cast iron.

Not applicable.

Stone or brick pillars in combination with one of the above when based on a Model Example.

Not applicable.

A reconstructed fence based on a Model Example.

Not applicable.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office's consideration of the Soulard District standards and the specific criteria for walls and fences led to these preliminary findings.

- 1900 S. 12th St. is located in the Soulard Local Historic District.
- The existing fence is in compliance with the standards except for the fence posts which have not been trimmed.
- The proposed fence would be 76 inches in height, 4 inches above the allowed height.
- The material of the fencing board is a plastic composite and will not weather in the same manner as the wood. It is also a material not allowed on visible facades in the historic district.
- The fence would be fully and highly visible from the street.
- The proposed fence does not meet the historic district standards in that boards are to be placed vertically and the decking board would be placed horizontally at the bottom of the fence.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application as it does not comply with the Soulard Historic District standards.



FENCE ALONG GEYER



REAR VIEW OF FENCE



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

F.

DATE: January 27, 2014
ADDRESS: 1000 Sidney Street
ITEM: Appeal of a Director's denial to enclose a roofed patio structure on a semi-public façade.
JURISDICTION: Soulard Certified Local Historic District — Ward 9
STAFF: Bob Bettis, Cultural Resources Office



1000 SIDNEY

OWNER:

John Vieluf – RPSLRD LLC

APPLICANT:

Michael R. Killeen/Killeen Studio

RECOMMENDATION:

That the Preservation Board uphold the Director's Denial for the proposed roofed patio structure enclosure with signs, as the enclosure is not in compliance with the Soulard Local Historic District Standards.



THE PROPOSAL:

The applicant proposes to install vinyl tent walls of the type used for temporary enclosures on a recently-constructed roofed structure, which was approved by the Preservation Board in May 2013. The structure covers an existing patio.

RELEVANT LEGISLATION:

Excerpt from Ordinance #62382, the Soulard Historic District:

RESIDENTIAL APPEARANCE AND USE STANDARDS

ARTICLE 2: EXISTING BUILDINGS

206 APPENDAGES ON PUBLIC AND SEMI-PUBLIC FACADES

206.3 New Appendages to Semi-Public and Private Facades

New porches, stoops and steps at Semi-Public and Private Facades shall be based on a Model Example.

Does not comply. The recently approved and constructed roofed structure, which still lacks the decorative detailing that was originally proposed, was based on the concept of a gazebo, and proposed as an open-sided structure. At the time of the approval of the open structure, its size and location were addressed as part of the concern about the impact of the new structure on the streetscape.

The alteration of that structure with vinyl tent walls installed during the colder months is not based on a Model Example. The gazebo-like structure would be seen from the street as an entirely enclosed structure with a door.

207.7 Signs

Comment: These Standards do not require existing signs which are well maintained to be replaced or removed. Commercial signs are defined as signs which advertise, direct, or attract attention to a commercial use or which serve a commercial purpose.

Permanent Commercial Signs

Commercial signs at structures serving a residential purpose at the time of adoption of these Standards are prohibited unless a conditional use permit is obtained. If such a permit is obtained the sign shall not be more than 2 square feet in size.

Comment: Section 207.7 (1)(2) shall apply instead of 207.7 (1)(1) if it can be shown by Model Example that the structure is appropriate for commercial use. Applications for conditional use permits are available through the City Building Division.

Commercial signs at structures serving a commercial purpose at the time of adoption of these Standards shall not exceed 40 square feet on each public facade or 10 percent of the area of each public facade, whichever is smaller.

Each side of a protruding sign counts toward the 40 square feet so they may not be more than 20 square feet or 5 percent of the surface area whichever is smaller.

Signs must be compatible with existing architectural details.

Signs shall be restricted to those identifying the names and/or businesses and principal products of the person or entity occupying the structure.

Signs may not be placed in the following locations:

- On a mansard;**
- On a parapet;**
- On a rooftop;**
- On the slope of an awning;**
- In a location which obscures significant architectural details such as cornices, windows sills, or doors;**
- On a pole; or**
- On any site separate from the building.**

Signs may only be lit by fixed steady front lighting. Back lighting is prohibited.

Signs must be fixed and silent.

Signs painted on windows and interior signs, including those inside windows, are not regulated by these Standards.

Temporary Commercial Signs

Temporary signs shall only be allowed for 6 months following the date of substantial completion of construction, renovation, or restoration of a building.

Temporary signs shall not exceed 36 square feet.

Extensions of the 6 month time period are allowed if approved by the Heritage and Urban Design Commission.

The application was for the installation of signs and therefore the sign standards are pertinent. The signs on the tent walls proposed to be used seasonally do not seem to be temporary in the sense of these standards.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resources Office consideration of the criteria for appendages on Semi-public Facades led to these preliminary findings.

- 1000 Sidney is located in the Soulard Local Historic District.
- The proposed enclosure is not based on the required Model Example.
- The vinyl tent walls with a pattern of brick are proposed for seasonal use.
- The enclosure will be constructed on a Semi-public Façade and would be highly visible from Sidney Street.

- The proposed use of vinyl printed to appear as brick and the use of the same material for the street-facing door are decidedly modern design elements that are in opposition to the intent of the standards for compatible new elements based on model examples. Even a plainer vinyl tent wall would alter the gazebo-like quality of the recently approved roofed structure to the extent that it could not meet the historic district standards.
- The row of signs on the tent walls is not compatible with existing architectural details and while the size and location of the signs not does not violate the district sign standards, yet clearly is not within the overall intent of the restrained use of signs in the historic district.
- The design of the open-sided roof structure was proposed to be seen as a gazebo, and did not include any signage when it was presented to the Preservation Board. District standards suggest that it would be difficult to incorporate signs into this portion of the property. The roofed patio structure is an appendage to the building that houses the main business, and as access is only through that building, some limitation on signs does not seem to be a burden.

Based on these preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application for the addition of vinyl walls to the roofed structure on the patio as that alternation would not in compliance with the Soulard Historic District Standards.



SITE PRIOR TO CONSTRUCTION OF ROOF



CONSTRUCTED UNFINISHED ROOF STRUCTURE



UNFINISHED GAZEBO STRUCTURE



PROPOSED VINYL WALLS AND SIGNAGE



CITY OF ST. LOUIS
**PLANNING & URBAN
DESIGN AGENCY**
CULTURAL RESOURCES OFFICE
FRANCIS G. SLAY, Mayor

G.

DATE: January 27, 2014
ITEM: Appeal of Director's Denial to retain glass block windows.
ADDRESS: 3535 Victor
JURISDICTION: Compton Hill Neighborhood Certified Local Historic District — Ward 8
STAFF: Bob Bettis, Preservation Planner, Cultural Resources Office



3535 VICTOR

OWNER/APPLICANT:
Cheryl Marty & William Stewart

RECOMMENDATIONS:
That the Preservation Board uphold the Director's Denial, as the installed glass block windows do not comply with the Compton Hill Historic District Standards.



RELEVANT LEGISLATION:

Excerpt from Ordinance #57702, the Compton Hill Historic District:

G. Architectural Detail

1. Architectural details on existing structures shall be maintained in a similar size, detail and material. Where they are badly deteriorated, a similar detail may be substituted.

2. Doors, windows and other openings on rehabilitated structures shall be of the same size and in the same horizontal and vertical style as in the original structures.

Does not comply. The owner has removed the original basement windows and installed glass block. The glass block is street visible and does not maintain the character of the building.

PRELIMINARY FINDINGS AND CONCLUSION:

The Cultural Resource Office's consideration of the criteria for windows led to these preliminary findings:

- 3535 Victor is located in the Compton Hill Local Historic District.
- The original basement windows have been removed and replaced with glass block.
- The openings with glass block infill in locations visible from the street would need to have window sash to meet the standards.
- The windows were installed without a building permit.

Based on the Preliminary findings, the Cultural Resources Office recommends that the Preservation Board uphold the Director's denial of the application for the glass block windows as they are not in compliance with the Compton Hill Historic District Standards.



3535 VICTOR WINDOW DETAIL